



TOWN OF WAYNESVILLE

Planning Board

9 South Main Street

Suite 110

Waynesville, NC 28786

Phone (828) 456-8647 • Fax (828) 452-1492

www.waynesvillenc.gov

Development Services

Director

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Tommy Rose

Special Meeting of the Planning Board
Town Hall, 9 South Main Street, Waynesville, NC 28786
Thursday, February 19, 2026, 5:30 p.m.

A. CALL TO ORDER

- Welcome/Calendar/Announcements

B. BUSINESS

1. A public hearing to consider a major subdivision of 148 lots for single-family residences on a portion of a 57.5-acre property at 192 Ratcliff Cove Road, Waynesville, NC 28786 (PIN 8625-08-4616) and on a 9.9-acre property at 40 Ratcliff Cove Road, Waynesville, NC 28786 (PIN 8615-99-9587).

C. PUBLIC COMMENT/CALL ON THE AUDIENCE

D. ADJOURN

Planning Board Staff Report

Major Subdivision- Preliminary Plat Review- Queen Subdivision Phase II (Valleywood Farms)

Administrative Site Plan Review

Meeting Date: February 19, 2026
Subject: Public hearing for a major subdivision, preliminary plat review
Project: Queen Subdivision Phase II (Valleywood Farms)
Location: A portion of 57.5-acre property at 192 Ratcliff Cove Road (PIN 8625-08-4616) and 9.9-acre property at 40 Ratcliff Cove Road (PIN 8615-99-9587)
Zoning District: 192 Ratcliff Cove Road- Raccoon Creek Neighborhood Residential (RC-NR)
 40 Ratcliff Cove Road- Raccoon Creek Neighborhood Center (RC-NC)
Existing Conditions: Open pasture with several structures and open land
Applicant/Owner: Queen Development, LLC
Authorized Agents: Jesse Gardner and Patrick Bradshaw
Presenter: Olga Grooman, Assistant Development Services Director

Background:

This is an application for a major subdivision of 148 lots for single-family residences on a portion of 57.5-acre property at 192 Ratcliff Cove Road (PIN 8625-08-4616) and on a 9.9-acre property at 40 Ratcliff Cove Road (PIN 8615-99-9587). The total project area is 58.02 acres, as the developer is not acquiring the approximately 11-acre western portion of the 192 Ratcliff Cove Road property that lies across Ratcliff Cove Road.

The property at 192 Ratcliff Cove Road is currently an open pastureland and contains a residence, barn, silos, storage buildings, and other associated structures. The northern parcel at 40 Ratcliff Cove Road, a former site of a drive-in movie theater, has been vacant for years and has an existing barn on the property.

On January 30, 2026, Queen Development LLC submitted an application for a major subdivision (preliminary plat) review. The authorized agents to represent the project and appear before the Board are Jesse Gardner and Patrick Bradshaw. The applicant submitted a Preliminary Plat and Environmental Survey, as required per LDS 15.9.2(C). Although not required for the Board hearing and only required at the time of building permit issuance, the applicant has already submitted a Stormwater Management Plan to the Town and has received review comments. The stormwater permit application is currently under review.

Per LDS section 15.3.7, the project team held the neighborhood meeting at the Biltmore Baptist Church on January 21, 2026, and the materials are attached to today's agenda packet. Staff provided notices of today's public hearing in the *Mountaineer* newspaper (2/4/26 and 2/11/26), by posting the property in several locations (2/3/26), and via first-class mail to adjacent property owners within 100 ft (2/3/26). The notice was also emailed to local media contacts, posted on the Town's website, and posted on the Town's bulletin board (2/3/26).

Preliminary Plat Approval Process:

Per LDS 15.9.2, the major subdivision review process is required for those divisions of land into eight (8) or more lots or which require dedication of public utilities and/or public streets. A preliminary plat review for a major subdivision is an administrative procedure- **an objective evaluation**. The Planning Board is the **Administrator** in accordance with LDS Section 15.9.2(D)- Major Subdivisions.

An administrative decision is a “decision made in the implementation, administration, or enforcement of development regulations that involve the **determination of facts** and the **application of objective**

standards set forth in Chapter 160D of the NC G.S. and the Town of Waynesville Code of Ordinances" (LDS 17.4).

For the major subdivision review, the Planning Board must find that each of the following facts to be true in order to approve or approve with conditions the application for a Major Subdivision (LDS 15.9.3(H)):

1. The plan is consistent with the adopted plans and policies of the Town;
2. The plan complies with all applicable requirements of this ordinance; and
3. The plan has infrastructure as required by the ordinance to support the plan as proposed.

"Unless substantial work has commenced or a building permit has been obtained, approval of a preliminary plat expires two (2) years from the date such approval was granted." The applicant may apply for an extension of this period for up to a total of five (5) years (LDS 15.9.3(K-L)).

The proposed major subdivision will consist of single-family homes that are allowed outright in RC-NR and RC-NC districts. LDS 17.3 provides the following definition:

"Dwelling—Single-Family. A free-standing building designed for and/or occupied by one household. These residences may be individually owned as residences or residences owned by rental or management companies. Also includes factory-built, modular housing units that comply with NC State Building Code."

Consistency with the 2035 Comprehensive Land Use Plan (LDS Chapter 1):

The larger southern property at 192 Ratcliff Cove Road is designated as *Residential- Low to Medium Density* on the Land Use Map within the 2035 Comprehensive Land Use Plan:

"This designation should be located within the urban service boundary. The roadway network is not likely to accommodate higher density development. Types of development include:

- Single-family uses at average densities of 3-4 units/acre, occasional small-scale attached housing types;
- Compatible development such as educational, civic, and faith-based uses, as well as parks, etc." (p.26).

The estimated acreage of this parcel is 57.5 acres. A total of 110 lots is proposed on the eastern portion of this parcel, which is approximately 46 acres, resulting in a density of approximately 2.4 units per acre, which is at the lower end of the density and, therefore, consistent with the 2035 Comp. Plan's designation. The parcel is divided into two parts by Ratcliff Cove Road, and there are no proposed lots on the approximately 11-acre portion located east of Ratcliff Cove Road because the developer is not purchasing it, and it will be subdivided out in the future. Therefore, all staff's calculations are only based on the eastern portion of the site, which is approximately 46 acres.

The smaller northern property at 40 Ratcliff Cove Road is designated as *Mixed Use- Community* on the Land Use Map within the 2035 Comprehensive Land Use Plan:

"This designation is intended for nodes of activity areas on major streets and thoroughfares incorporating commercial retail and office, light industrial, employment centers and institutional uses to serve the community. Residential single and multifamily development of medium densities may be vertically or horizontally integrated with the commercial. These areas will likely have access to municipal utilities and development should be connected to transit and pedestrian ways. Scale of these areas should vary based on context." (p.27)

A total of 38 lots is proposed on this 9.9-acre parcel, resulting in a density of approximately 3.8 dwelling units per acre, which is also on the lower end of the density. Single-family residential development at this density is consistent with the intent of the 2035 Comp. Plan for this property.

The proposed project is consistent with the Goal 2 of the Comp. Plan:

“Goal 2: Create a range of housing opportunities and choices.

- Encourage new housing inside Waynesville’s city limits and Extraterritorial Jurisdiction (ETJ).
- Promote a diverse housing stock including market rate, workforce housing and affordable options that appeal to a variety of households.” (p.19)

Purpose and Intent by Zoning District (LDS Chapter 2):

The larger southern property at 192 Ratcliff Cove Road lies within Raccoon Creek Neighborhood Residential (RC-NR) zoning district, which has the following purpose and intent statement (LDS 2.3.3.G):

“**The Raccoon Creek Neighborhood District (RC-NR)** is a medium density residential area surrounding one of the major entrances into Waynesville — Business 23. There are two centers for this area — the Ratcliff Cove Neighborhood Center and the Junaluska School/ballfield area within the district itself. Water service is available throughout much of the district with sewer available along Business 23 and Francis Farm Road. Higher density development is encouraged west of Business 23 with lower density clustered development proposed to the east. It is suggested that the County explore recreational uses on the landfill property on Francis Farm Road — an area that could become another focal point for the community. Development will occur at a residential scale. Development fronting onto Business 23 must form a street wall along this entryway into town.”

The smaller northern property at 40 Ratcliff Cove Road lies within Raccoon Creek Neighborhood Center (RC-NC) zoning district. It has the following purpose and intent statement (LDS 2.3.5.C):

“**The Raccoon Creek Neighborhood Center District (RC-NC)** is a small neighborhood center that functions as a gathering place for those residing in the rural and neighborhood districts found in East Waynesville. A highly mixed-use district, this area will develop into a small-scale, pedestrian friendly setting with design criteria supporting such development. The creation of an inviting streetscape and pedestrian connections are important — both within the center and to adjoining neighborhoods. Efforts to calm and manage the traffic at the center will be important in this busy area as will the sharing of parking and the development of “park and walk” amenities. As this is at an entrance to Waynesville, architectural and site design should be of the highest quality.

Single-family dwellings are permitted outright without supplemental standards in both districts (LDS 2.5.3). Residential development is consistent with the purpose and intent of both districts.

Zoning Compliance:

LDS 2.4.1- Dimensional Standards for RC-NR- 110 lots are proposed in this portion of the site:

- Density- 10 units/acre. This portion of the site at 192 Ratcliff Cove Road (PIN 8625-08-4616) is approximately 46 acres. A total of 110 lots is proposed. The proposed density is 2.4 units/acre, which is compliant.
- Minimum lot size is 1/6 acre or 7,260 sf. The lots range between 7,317 - 10,123 sf.
- Minimum lot width is 50 ft. All proposed lots meet or exceed this requirement.

- Minimum setbacks required: front and side- 10 ft, street side/secondary front- 10 ft, rear- 6 ft, and minimum setback between structures is 6 ft. The project is compliant and shows setbacks within the proposed lots on the site plan.
- Minimum required pervious surface per lot is 10%. Compliance for individual lots will be verified at the time of building permit issuance, based on the proposed building footprint, driveway, and other improvements.
- Maximum height permitted- 3 stories or 60 ft at the primary façade. The height of each individual house will be verified at the time of a building permit, depending on a custom model.

LDS 2.4.2- Dimensional Standards for RC-NC- 38 lots are proposed in this portion of the site:

- Density- no max. This portion of the site at 40 Ratcliff Cove Road (PIN 8615-99-9587) is 9.9 acres. A total of 38 lots is proposed within it. The proposed density is 3.8 units/acre.
- Minimum lot size- none. The lots range between 5,000 – 6,724 sf.
- Minimum lot width- none. Lots in this section are at least 50 ft wide.
- Minimum setbacks: front and street side/secondary front- 0 ft min. and 20 ft. max. (with 10 ft min. from fronting a thoroughfare), side setback- 0 ft, setback between structures is 0 ft, rear setback is 5 ft. The project is compliant and shows setbacks within the proposed lots on the site plan.
- Minimum pervious surface required: none. The project, however, provides a green civic space area at the northern portion of the parcel.
- Maximum height permitted: 3 stories. The height of each individual house will be verified at the time of a building permit, depending on the custom model.

The site plan provides pre- and post-development impervious surface calculations. They are as follows:

- Pre-development impervious surface- 2.3 acres (4%); pervious surface- 56.44 ac (96%).
- Post development impervious surface- 24.27 ac (41%); pervious surface- 34.47 ac (59%).

LDS 2.5.3- Table of Permitted Uses:

- Single-family dwellings are permitted outright in both NR and NC districts.

LDS 3- Supplemental Standards:

- There are no supplemental standards for single-family homes.

LDS 4- General Provisions for All Districts:

- **Basic Lot and Use Standards:** Per LDS 4.3.1, all lots shall front upon a public street or a driveway. The proposed lots front the internal roads within the development.
- **Measurement of the Building Height:** Maximum building height is 3 stories in both NR and NC zoning districts. Per LDS 4.4.2(A), the building height is measured from the highest adjacent grade to the top of the sloped roof at the primary façade. As specified above, the height of the structures will be verified at the time of building permitting.

LDS 5.8- House/Townhouse/Apartment Residential Building Design Guidelines:

- House building types on lots 50 ft or greater are exempt from specific design guidelines. The proposed lots range between 50-75 ft.

- However, garage doors shall be setback a minimum of 25 ft from the back of the sidewalk (LDS 5.8.4.C), and this standard will be verified at the time of the issuance of a building permit.

LDS 6- Infrastructure:

- **Connectivity (LDS 6.4):** The proposed project will connect to Ratcliff Cove Road at the northern side of the subdivision and provide an additional access point to Sunnyside Road at the southeastern portion of the subdivision.
- **Connection to Ratcliff Cove Road** will serve as a primary entrance to phase II of the development. This main drive is located directly across the Biltmore Baptist Church's driveway and has been approved by the Town's Building Inspections, Fire Marshal, and NC DOT. The driveway will include an additional right-turn lane for vehicles exiting the subdivision, resulting in a three-lane drive aisle at the entrance. Beyond the turn lane, the driveway provides 20 feet of drivable surface width.
- **Additional connection to Sunnyside Road:** one new access point is proposed in the southeastern portion of phase II. It will serve as a second connection to Sunnyside Road, in addition to the existing connection to the west at phase I. The newly proposed connection will be 20 ft wide and must remain full and non-gated public access, as requested by the Fire Marshall. This access point has also been reviewed by the Town's Building Inspections Department and NC DOT.
- Phase I and phase II of the development will be connected by internal roads at two locations: one between Lots 35 and 37 in the north-central portion of the development and another between Lots 1 and 5 on the southern side.
- LDS 6.4.1.B requires that low speed, low volume streets, such as within a residential subdivision, shall be designed with short block lengths of between two hundred and fifty (250) and five hundred (500) feet. The site plan shows general compliance with only one block (between lots 5 and 21 on the southern side of the development) slightly exceeding the length by 50 ft, but it is intersected on one side by a street. Per LDS 6.4.1.B, the Administrator may approve alternative block length designs based on topography, the existence of environmentally sensitive lands, the need to preserve cultural resources and similar considerations.
- **Town Street Classification and Design: LDS 6.6.2.D- Residential Street:**

The proposed internal road network shows general compliance with the standards for a “Residential Street” type:

- Pavement width – 20 ft
- Sidewalks- 5 ft on each side
- Landscaping planter strip shall be a min. of 5 ft.
- **Town Street Classification and Design: LDS 6.6.2.E- Lane:**

The northern section of the subdivision proposes one “Lane” type of street that also shows compliance with the street classification requirements:

- Length of the lane is under 400 ft
- Pavement width is at 20 ft
- 5-ft sidewalk is shown on one side of the lane
- Planting strip shall be at least 5 ft

- **Pedestrian Facilities (LDS 6.8.1):** Sidewalks are required in accordance with the street classification for a major subdivision. All lots will front internal roads within the subdivision. A 5-foot sidewalk is proposed on both sides of most internal roads within the subdivision, except for the northern section of the lane, as noted above.

Additionally, the project proposes a 5-ft sidewalk along the northern road frontage off Ratcliff Cove Road and a minimum 20-ft greenway easement for a future trail (exact location to be determined during final design) connecting to the southern portion of the entrance off Ratcliff Cove Road. The width and location of the greenway easement to the Town are tentative, and staff recommend that dedication of the greenway easement be included as a condition of approval.

- **Transportation impact analysis (LDS 6.10):** In accordance with NC DOT requirements, the applicant conducted a Transportation Impact Analysis (TIA) evaluating traffic impacts for both phases of the development combined, as documented in the attached NC DOT TIA Acceptance Letter. The results are as follows:

- Intersection of **Asheville Road (US 23 BUS) & Ratcliff Cove Rd (SR 1818)** (existing roundabout intersection)- No mitigation is required.
- Intersection of **Ratcliff Cove Rd & Access A (main entrance off Ratcliff Cove Road)**-
 - Construct an exclusive right turn lane on the southbound approach of Ratcliff Cove Rd. Provide a minimum of 100 feet of storage and appropriate taper.
 - Construct driveway access with one ingress and one egress lane and provide an internal protected stem of 100 feet measured from the right-of way line.
- Intersection of **East Street & Sunnyside Road**- No mitigation is required.
- Intersection of **Sunnyside Road & Proposed Site Access B (existing entrance to phase I off Sunnyside Road)**- No mitigation required.
- Intersection of **Sunnyside Road & Proposed Site Access C (south-eastern side of the subdivision)**- Construct driveway access with one ingress and one egress lane and provide an internal protected stem of 100 feet measured from the right-of way line.
- Intersection of **Sunnyside Road & Raccoon Road**- No mitigation required.
- Intersection of **Pigeon Road & Raccoon Road**- No mitigation required.

To summarize, both phases of the development, combined, will be served via three (3) access points:

- An existing three-way drive currently serving phase I on the western side of Sunnyside Road.
- A two-way drive on the eastern side of Sunnyside Road.
- A three-way drive off Ratcliff Cove Road, approximately 400 ft south of the roundabout at Asheville Road. Additionally, a right-turn lane will be constructed along the northern section of Ratcliff Cove Road to serve the primary entrance.
- **Utilities (LDS 6.11):** The project will connect to the existing water and sewer infrastructure. The Public Works Department confirmed via the attached letter that the Town could provide water and sewer. Electric distribution to this development will be provided by Duke.

Additionally, the Town was granted additional 56,000 gallons per day in sewer allocations from the State. The developer is requesting additional 12,775 gallons per day. Therefore, the Town has capacity to provide it. Please refer to the attached letter from the Waynesville Public Works Department.

LDS 7- Civic Space:

- **Civic Space Dedication (LDS 7.3):** For a 148-lot subdivision, 15% of the total acreage of the site shall be dedicated to civic space. Site plans indicate a total project area of 58.02 acres. Therefore, 8.7 acres are required as a civic space. The developer provides 10.37 acres (17.9%).
- **Civic Space Type (LDS 7.2):** There are several civic space areas spread throughout the subdivision. The various dedicated green / community areas for recreation range from 6,352 sf to 7.69 acres.
- **Accessibility and Location (LDS 7.2.2 and 7.2.3)** requires that all civic spaces shall be conveniently accessible to all residents of the development and shall have at least 60 ft of frontage on at least one public street within the development. The phase 2 civic space areas will connect to phase I civic space areas between the lots 21 and 23 and by eliminating the existing stormwater pond beside them. Many civic space areas are either interconnected or can be accessed via the internal sidewalk within the development. Several civic space areas have at least 60 ft of frontage within the development.
- As required, no residential unit is further than $\frac{1}{4}$ mile (1,320 ft) from a civic space area (LDS 7.2.2.B).
- **LDS 7.2.4- Usability** requires that at least one-quarter ($\frac{1}{4}$) of the total land dedicated shall be located outside of floodplain. The project is compliant.
- **LDS 7.2.5- Minimum Amenities-** requires that civic spaces include two (2) or more improvements or amenities, such as landscaping, pathways, ball fields, or similar features. Several civic space areas include picnic tables and landscaping, which is compliant. In addition, the plan shows a greenway easement to the Town that will serve as a public civic amenity. However, staff recommend, as a condition of approval, that a path be shown within the 10-foot green connection between Lots 76 and 78 to ensure usability.

Additionally, at least 25% of the civic space land shall be dedicated to active recreation purposes such as playgrounds, tennis courts, ball fields, volleyball courts, etc. (LDS 7.2.5.C). The project requires 2.59 ac of the civic space to active recreation, and it proposes 2.97 ac, which is compliant. The type of active recreation has not been specified on the plans.

LDS 8- Landscaping:

- **LDS 8.3.1.B- Protection of Vegetation During Design-** requires that all major subdivisions preserve 5% of the existing trees on site. The project will preserve all vegetation within the stream buffer along the eastern side of the development.
- **Buffer (LDS 8.4.B.):** A type B Buffer Yard is required along the side and rear lot lines, not including road frontage, for new major subdivisions of 15 or more units. The development is compliant and provides a 25-foot-wide buffer along the northwestern boundary of the site, consisting of two (2) evergreen trees, one (1) canopy tree, one (1) understory tree, and twelve (12) shrubs per 100 linear feet.
- Along the eastern and southeastern boundaries, the project preserves existing dense vegetation, including trees and shrubs within the stream buffer, which satisfies the buffering requirement.

- **Street Tree Plantings (LDS 8.5.1):** NR district requires one canopy tree per 40 ft of street frontage with maximum spacing of 50 ft on center. The width of the planting strip shall be at least 5 ft, and it shall be located between the road and a sidewalk. The portion of the project located within the NR zoning district includes 9,617 linear feet of internal roadway frontage, which requires 241 trees. The plan provides the required 241 trees. Tree spacing generally meets ordinance requirements, but minor deviations occur where strict spacing would interfere with lot frontage. The Landscaping Ordinance allows alternative compliance in situations where strict application would create unreasonable conditions, such as obstructing lot access with required tree placement.

NC zoning district requires one canopy tree for every 50 feet of street frontage, with maximum spacing of 50 ft on center. A 5-ft wide landscaping strip or 25 sf tree well is required. The NC-zoned portion of the project has 2,791 linear feet of internal roadway frontage, which requires 56 street trees, and they are provided. As stated above, tree spacing generally meets ordinance requirements.

- **Parking Lot Landscaping (LDS 8.6):** There is no parking lot proposed.
- **Screening (LDS 8.7):** All dumpsters, loading docks, or utility structures visible from a public street or adjacent property shall be screened. None are proposed.

LDS 9- Parking and Driveways:

LDS 9.2- Required Parking Standards:

- One parking space is required per single-family unit. No bike racks are required for single-family subdivisions (LDS 9.2).
- Additionally, per staff suggestion, the site plan includes two (2) guest parking areas: one area consisting of four (4) spaces located south of lot 91 in the southern portion of the subdivision, and one area consisting of four (4) spaces, including one ADA-accessible space, located in the northern section of the subdivision between lots 142-143. This is not a requirement but was a suggestion from staff at the pre-application meeting.
- Parking locations for houses in NR and NC districts can be at the front, side, or rear yard (LDS 9.3).
- These standards will be verified at the time of a building permit. LDS 15.9.2 states that Construction Documents shall be submitted after the Planning Board review for major subdivisions. Each house will be custom-built but will have to comply with the LDS driveway standards as well as Building Code.

LDS 9.8- Driveway Access:

- The primary entrance to phase II of the subdivision will be off Ratcliff Cove Road. This main drive is located more than 400 feet from the intersection with Asheville Road, consistent with LDS 9.8.3, and has been approved by the Town's Building Inspections Department, Fire Marshal, and NC DOT. The driveway will include an additional right-turn lane for vehicles exiting the subdivision, resulting in a three-lane drive aisle at the entrance. Beyond the turn lane, the driveway provides 20 feet of drivable surface width.
- The two additional access points to the subdivision will be from Sunnyside Road: one existing access (three-lane drive with a right-turn lane) located in the southwestern portion of phase I, and one new access is proposed in the southeastern portion of phase II. The spacing and width of the newly proposed (third) access have been reviewed for compliance with the LDS, Fire Code, Building Code, and have also been approved by the NC DOT. The newly proposed connection will

be 20 ft wide and must remain full and non-gated access, and not just for emergency personnel but for the public.

Lighting (LDS 10):

- None currently proposed. All lighting is subject to the town's lighting ordinances, which include, but are not limited to, a detailed light plan and design standards.

Signs (LDS 11):

- None proposed. A separate sign permit would be required.

LDS 12- Environmental:

As a part of the application, the developer submitted an environmental survey which includes the following information:

- Current conditions: open grassland, rolling pastureland with a few scattered trees.
- A portion of the site is located in the floodplain- east off Racoons Road and east of Ratcliff Cove Road
- Soil classifications: well drained soils with no frequency of flooding.
- Proposed erosion control measures: silt fences, sediment basins, temporary diversion ditches, and other conventional methods. Because the project will disturb over an acre, it will require an Erosion and Sedimentation Permit from the State (NC DEQ).
- Post-construction stormwater control measures will consist of conveyance pipes with a combination of above ground detention ponds (two (2) existing ponds in phase I and two (2) additional ponds in phase II) to control post development runoff and water quality. The applicant has already submitted the Stormwater Management Plan, which is in the process of being reviewed.

Staff Findings:

Staff submits that:

1. The proposed major subdivision (preliminary plat) is consistent with the 2035 Comp. Land Use Plan's Goal 2 and Future Land Use Map.
2. The preliminary plat shows general compliance with the ordinance. The approval of this major subdivision does not exempt it from the requirements of the Building, Fire Codes, NC DOT standards, and any other laws, rules, or regulations.
3. The plan has infrastructure as required by the ordinance to support the plan as proposed.

The staff recommends that the Board could approve this application for the major subdivision with the following conditions:

1. The newly proposed third connection at the Sunnyside Road must remain 20 ft of drivable surface and must remain a full and non-gated public access, and not just for emergency personnel.
2. Provide a minimum of 20-ft greenway easement to the Town along the eastern portion of the site and coordinate with Town staff on the final width and location.

3. A path needs to be shown within the 10-foot green connection between Lots 76 and 78 to ensure usability.
4. Coordinate with the Development Services and Public Works Departments to ensure tree plantings do not impact utility easements.

Attachments:

- Application materials: application, payment, preliminary plat, agent authorization form, environmental survey
- Consistency Statement Worksheet
- Property maps and images: property cards, zoning, floodplain
- Utilities letters, NC DEQ memorandum, utilities map
- NC DOT TIA Acceptance Letter
- Building / fire comments
- Public notices
- Neighborhood meeting materials



TOWN OF WAYNESVILLE
Development Services Department
 9 South Main Street, Suite 110
 Waynesville, NC 28786
 Phone (828) 456-8647 • Fax (828) 452-1492
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APPLICATION FOR MAJOR SUBDIVISION OR SITE PLAN

DESCRIPTION OF PROPERTY

PROPERTY OWNER(S) OF RECORD: QUEEN DEVELOPMENT, LLC

PARENT PARCEL IDENTIFICATION NUMBER(S): 8615-99-9587, 8625-08-4616 (PORTION OF)

PROPERTY LOCATION: SUNNYSIDE ROAD

ZONING: RACOON CREEK NEIGHBORHOOD RESIDENTIAL (RCNR), RACOON CREEK NEIGHBORHOOD CENTER (RCNC)

LAND USE AT TIME OF APPLICATION: AGRICULTURE

APPLICANT (IF DIFFERENT FROM OWNER): _____

Note: Authorization to apply form must be submitted with the application if applicant is different from owner.

MAILING ADDRESS: 1335 CANE CREEK ROAD, FLETCHER, NC 28732

PHONE NUMBER: (847) 323-7638

RELATIONSHIP TO PROPERTY OWNER: _____

DESCRIPTION OF PROJECT

NUMBER OF ORIGINAL LOTS: 2 NUMBER OF PROPOSED LOTS: 148

NUMBER OF UNITS/DENSITY: 148 2.6 UNITS/ACRE

REGISTERED LAND SURVEYOR/DRAWING NUMBER: ERIC S MCABEE, PLS G-25-6132

APPLICATION COMPLETENESS (*See LDS Section 15.9*):

ENVIRONMENTAL SURVEY

MASTER PLAN OR PRELIMINARY PLAT

OTHER INFORMATION / PROJECT DESCRIPTION (attach sheets as necessary):

SIGNATURE OF APPLICANT:

Signed by:
David Luck
187973034537254

DATE: 1/29/2026

This institution is an equal opportunity provider

PAYMENT SUMMARY RECEIPT

TOWN OF WAYNESVILLE
16 S MAIN STDATE: 01/30/26 CUSTOMER#:
TIME: 14:29:35
CLERK: 2044ecouRECPT#: 3289832 PREV BAL: 1830.00
TP/YR: P/2026 AMT PAID: 1830.00
BILL: 3289832 ADJSTMNT: .00
EFF DT: 01/30/26 BAL DUE: .00
Misc Cash Receipts

-----TOTALS-----

PRINCIPAL PAID: 1830.00
INTEREST PAID: .00
ADJUSTMENTS: .00
DISC TAKEN: .00AMT TENDERED: 1830.00
AMT APPLIED: 1830.00
CHANGE: .00PAID BY: CDC PH II Valley Farm
PAYMENT METH: CHECK
PAYMENT REF: 10137TOT PREV BAL DUE: 1830.00
TOT BAL DUE NOW: .00

QUEEN SUBDIVISION PHASE 2

WAYNESVILLE, NORTH CAROLINA

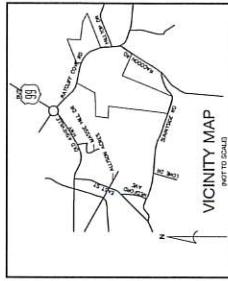
PREPARED FOR:

QUEEN DEVELOPMENT,LLC
1335 CANE CREEK ROAD
FLETCHER, NC 28732
DAVID LUCK
(847) 323-5388



FINAL DRAWING - FOR REVIEW ONLY

QUEEN SUBDIVISION PHASE 2



Know what's below.
Call before you dig.

DEVELOPMENT DATA	
OWNER/DEVELOPER:	QUEEN DEVELOPMENT,LLC 1335 Cane Creek Rd FLETCHER, NC 28732 (847) 323-5388
CONTACT:	DAVID LUCK
CIVL. DESIGNER:	CDC Civil Designers, P.A. 1335 Cane Creek Rd FLETCHER, NC 28732 (847) 323-5388

QUEEN DEVELOPMENT - WAYNESVILLE, NORTH CAROLINA	CD-216
CD-216	CD-216

SHEET NO.	TITLE	NUMBER OF SHEETS	
		1	2
C0000	OWNER SHEET		
C0001	SURVEY		
C0002	MASTER COORDINATE CONDITIONS & DIRECTIONAL PLAN		
C0003	MASTER SITE PLAN		
C0004	SITE PLAN		
C0005	SITE PLAN		
C0006	SITE PLAN		
C0007	SITE PLAN		
C0008	MASTER PLAT PLAN		
C0009	SITE DETAILS		
C0010	MASTER LANDSCAPE PLAN		
C0011	LANDSCAPE PLAN		
C0012	LANDSCAPE PLAN		
C0013	LANDSCAPE PLAN		
C0014	LANDSCAPE PLAN		

QUEEN DEVELOPMENT - WAYNESVILLE, NORTH CAROLINA	CD-216
CD-216	CD-216

The diagram illustrates the following site features:

- LOT LINES:** Represented by two parallel lines.
- PROPERTY LINE:** Represented by a single line with a dashed segment.
- DRIVeway LINE:** Represented by a dashed line.
- EASEMENT LINE:** Represented by a line with a wavy pattern.
- RIGHT-OF-WAY TRIANGLE:** Represented by a triangle with a diagonal hatching pattern.
- IMPROVED LIGHT DUTY PAVEMENT:** Represented by a light gray rectangle.
- IMPROVED HEAVY DUTY PAVEMENT:** Represented by a medium gray rectangle.
- IMPROVED CONCRETE SIDEWALK:** Represented by a dark gray rectangle.
- IMPROVED CONCRETE SIDEWALK:** Represented by a dark gray rectangle.

PROPOSED 14-BEDDING CHROMOSOME (119)
PROPOSED SINGLE PARK & LOT (119)
PROPOSED LOT LINE (119)
PROPOSED SINGLE PARK & LOT (224)

**AUTHORIZATION FOR AGENT TO
APPEAR BEFORE WAYNESVILLE PLANNING BOARD,
ZONING BOARD OF ADJUSTMENT, OR TOWN COUNCIL**

The undersigned Owner or Party with a contract or option to purchase that real property located at 8615-99-9587, 8625-08-4616 (PORTION OF) in Waynesville or the ETJ area of Waynesville, North Carolina, has submitted an application which is to be heard in a proceeding by Board(s) of the Town of Waynesville, North Carolina. I hereby authorize the following named individual to present my application and case, as my agent at such hearings.

Name of Authorized Agent: Jesse Gardner & Patrick Bradshaw

Title and Company: Civil Design Concepts, PA

Address: 84 Coxe Ave Asheville 28801

Phone and email: 828-252-5388 jgardner@cdcgco.com pbradshaw@cdcgco.com

This authorization shall be good through the completion of the project for which the zoning text or map amendment, special use permit, subdivision, variance or appeal, or other Town approval is requested, or until revoked in writing. The Town of Waynesville may rely on this authorization until it is given notice of the revocation of this authorization or of a change of property ownership takes place.

This the 28th day of January, 2026.

Owner or Party with Contractual Interest in Property:

Signed by:

David Luck

10787999485466

Queen Development, LLC

Address and phone number:

1335 Cane Creek Rd

Fletcher, NC 28732

847-323-7638

ENVIRONMENTAL SURVEY
FOR
**A Proposed 58.02 Acre Subdivision
Development**
**Sunnyside Road – PIN #s 8615-99-9587,
8625-08-4616 (Portion of)**

OWNER / DEVELOPER:

Queen Development, LLC
1335 Cane Creek Road
Fletcher, NC 28732

PREPARED BY:



168 Patton Ave. 52 Walnut Street – Suite 9
Asheville, NC 28801 Waynesville, NC 28786
Phone: 828-252-5388 Phone: 828-452-4410
Fax: 828-252-5365 Fax: 828-456-5455

www.cdcgo.com
NCBELS LICENSE #: C-2184



Project Name: Proposed 58.02 Acre Subdivision Development on Sunnyside Road
Haywood County PIN #'s: 8615-99-9587, 8625-08-4616 (Portion of)

Project Location: Waynesville, NC
CDC Project No. 22139
Date: January 30, 2026

The proposed subdivision development is located off of Sunnyside Road, Waynesville, Haywood County, North Carolina. The development parcel is PIN #'s 8615-99-9587 and a portion of 8625-08-4616 as shown by Haywood County GIS, and the proposed development area is approximately 58.02 acres.

The project site is located in the Town of Waynesville's extra territorial jurisdiction and is zoned Racoon Creek – Neighborhood Residential and Racoon Creek – Neighborhood Central. The proposed development parcel has historically been used as open farmland for livestock grazing and consists of open, rolling pastureland containing only a few scattered trees. The proposed site improvements would include a proposed road network, storm drainage, water and sewer facilities to support a single-family subdivision of 148 proposed lots.

Most of the property is located in Zone X on the FEMA Flood Insurance Rate Maps but a portion of the site is located in a Special Flood Hazard Area. It is bordered by a small unnamed tributary to Racoon Creek that parallels Sunnyside Road to the south, and Raccoon Creek to the east. The project area can be found from the FEMA FIRMs 3700861500J and 3700862500J, both with an effective date of April 3, 2012.

The site soils consist of the following classifications: Braddock Clay loam (BkB2), Cullowhee-Nikwasi complex (Cx A), Dillsboro loam (DsB and DsC), Hayesville Clay Loam (HaD2, HaC2, and HaB2) and limited amounts of Saunook Loam (ScB). All these soils are described as being well drained and have no frequency of flooding per the USDA and NRCS data sources.

Erosion control measures during construction will consist of silt fences, sediment basins, temporary diversion ditches and other conventional measures. Post-construction stormwater control measures will consist of conveyance pipes and above ground detention ponds to control post development runoff and water quality.

National Flood Hazard Layer FIRMette



Legend

82°58'27''W 35°29'47''N

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEI AYOUT



Basemap Imagery Source: USGS National Map 2023

9

National Flood Hazard Layer FIRMette



Legend

82°58'12" W 35°29'57" N

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

Without Base Flood Elevation (BFE)
Zone A, V, A9
With BFE or Depth Zone AE, AO, AH, VE, AR
Regulatory Floodway

SPECIAL FLOOD HAZARD AREAS

0.2% Annual Chance Flood Hazard. Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X

Future Conditions 1% Annual Chance Flood Hazard Zone X

Area with Reduced Flood Risk due to Levees. See Notes, Zone X

Area with Flood Risk due to Levee Zone X

OTHER AREAS OF FLOOD HAZARD

	NO SCREEN	Area of Minimal Flood Hazard	Zone X
	Effective LOMs	Area of Undetermined Flood Hazard	Zone D
	GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer	— — —
	OTHER AREAS	Levee, Dike, or Floodwall	

LEGEND

Symbol	Description
	Cross Sections with 1% Annual Chance
	Water Surface Elevation
	Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature

OTHER FEATURES

MAP PANELS

Digital Data Available

No Digital Data Available

Unmapped

N

Legend: Digital Data Available No Digital Data Available Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **1/12/2026 at 7:56 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

base map Imagery Source: USGS National Map 2023
82°57'34" W 35°29'28" N

PINK FIELDS LLC
AL & CHARLIES MOUNTAIN LLC
480 QUEEN COVE RD
WAYNESVILLE, NC 28785

Account Information

PIN: 8625-08-4616
Deed: 4762377
98E/380
1054714
9187722

Site Information

DWELLING

192 RATCLIFF COVE RD WAYNESVILLE NC 28

Heated Area: 0
Year Built: 1960
Total Acreage: 57.51
Township: Waynesville Out

Site Value Information

Land Value:
Building Value:
Market Value:
Deferred Value:
Assessed Value:
Sale Price:
Sale Date: 12/30/1999
Tax Bill 1:
Tax Bill 2:

1 inch = 400 feet
January 12, 2026

31

Disclaimer: The maps on this site are not surveys. They are prepared from the inventory of real property found within this jurisdiction and are complete from recorded deeds, plats and other public records and data. Users of this site are hereby notified that the aforementioned public primary information sources should be consulted for verification of any information contained on these maps. Haywood county and the website provider assume no legal responsibility for the information contained on these maps.



Report For

PINK FIELDS LLC
AL & CHARLIES MOUNTAIN LLC
480 QUEEN COVE RD
WAYNESVILLE, NC 28785

Account Information

PIN: 8625-08-4616
Deed: 476/2377
98E/380
1054/714
918/722

Site Information

DWELLING

192 RATCLIFF COVE RD WAYNESVILLE NC 28785
Heated Area: 0
Year Built: 1960
Total Acreage: 57.51
Township: Waynesville Out

Site Value Information

Land Value: \$298,100
Building Value: \$111,200
Market Value: \$409,300
Deferred Value: \$240,614
Assessed Value: \$168,686
Sale Price: \$0
Sale Date: 12/30/1999
Tax Bill 1: \$1,192
Tax Bill 2: \$1,222

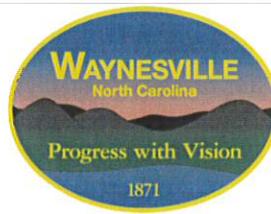
1 inch = 400 feet
January 12, 2026



32

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To: Town of Waynesville Planning Board
 From: Olga Grooman, Assistant Development Services Director
 Date: February 19, 2026
 Subject: Major Subdivision Statement of Consistency
 Description: Valleywood Farms Phase II Subdivision (PIN 8625-08-4616 and PIN 8615-99-9587)

The Planning Board hereby adopts the following statement(s):

The proposed subdivision **is consistent with the Town's Comprehensive Land Use Plan** because:

The proposed subdivision **is reasonable and in the public interest** because:

The subdivision **is rejected because it is inconsistent with the Town's Comprehensive Land Use Plan and is not reasonable and in the public interest** because _____

In addition to approving this subdivision, this approval is **also deemed an amendment to the Town's Comprehensive Land Use Plan**. The change in conditions taken into account to meet the development needs of the community and why this action is reasonable and in the public interest, are as follows: _____

Planning Board Member _____, made a motion, seconded by _____.

The motion passed _____. (*unanimously or vote results here*)

Ginger Hain, Planning Board Chair

Date

Esther Coulter, Administrative Assistant

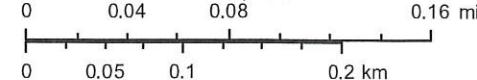
Date

Haywood County



February 14, 2026

1:4,800



PINK FIELDS LLC
AL & CHARLIES MOUNTAIN LLC
480 QUEEN COVER RD
WAYNESVILLE, NC 28785

Account Information

PIN: 8625-08-4616
Deed: 476/2377
98E/380
1054/714
918/722

Site Information

DWELLING

192 RATCLIFF COVE RD WAYNESVILLE NC
Heated Area: 0
Year Built: 1960
Total Acreage: 57.51
Township: Waynesville Out

Site Value Information

Land Value: \$298,100
Building Value: \$111,200
Market Value: \$409,300
Deferred Value: \$240,614
Assessed Value: \$168,686
Sale Price: \$0
Sale Date: 1/230/1999
Tax Bill 1: \$1,192
Tax Bill 2: \$1,221

1 inch = 400 feet
February 14, 2026



35
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Report For

TRIBROOK FARMS LLC A NC LLC
1315 RATCLIFF COVE RD
WAYNESVILLE, NC 28786-3108

Account Information

PIN: 8615-99-9587
Deed: 965/2454
844/2321
965/2461
DC104/239

Site Information

40 RATCLIFF COVER RD

Heated Area:

9.98
Year Built:

Total Acreage:

Township:

Town of Waynesville

Site Value Information

Land Value:	\$1,157,800
Building Value:	\$2,300
Market Value:	\$1,160,100
Deferred Value:	\$1,152,361
Assessed Value:	\$7,739
Sale Price:	\$0
Sale Date:	1/4/2019
Tax Bill 1:	\$42
Tax Bill 2:	\$42

1 inch = 400 feet
February 14, 2026



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Report For

TRIBROOK FARMS LLC A NC LLC
1315 RATCLIFF COVE RD
WAYNESVILLE, NC 28786-3108

Account Information

PLN: 8615-99-9587
Deed: 965/2454
844/2321
965/2461
DC104/239

Site Information

40 RATCLIFF COVER RD

Heated Area: 9.98
Year Built: 9.98
Total Acreage: 9.98
Township: Town of Waynesville

Site Value Information

Land Value:
Building Value:
Market Value:
Deferred Value:
Assessed Value:
Sale Price: 1/4/2019
Sale Date:
Tax Bill 1:
Tax Bill 2:

1 inch = 400 feet
February 14, 2026

74
Disclaimer: The maps on this site are not surveys. They are prepared from the inventory of real property found within this jurisdiction and are compiled from recorded deeds, plats and other public records and data. Users of this site are hereby notified that the aforementioned public primary information sources should be consulted for verification of any information contained on these maps. Haywood county and the website provider assume no legal responsibility for the information contained on these maps.



Haywood County

38



February 14, 2026

1:4,800
0 0.04 0.08 0.1 0.12 0.14 0.16 mi
0 0.05 0.1 0.15 0.2 km

From: [Patrick Bradshaw](#)
To: [Olga Grooman](#)
Cc: [Jess Gardner](#)
Subject: Queen Phase 2 - Sewer Allocation Requirement
Date: Thursday, August 21, 2025 10:50:38 AM
Attachments: [image002.png](#)
[Water and Sewer Fees Queens Farm LLC .docx](#)
[WQ0043515 PERM MOD_20240328.pdf](#)

Good morning Olga – I hope you are doing well. As a follow up to your call earlier this week, I wanted to follow up with the following information.

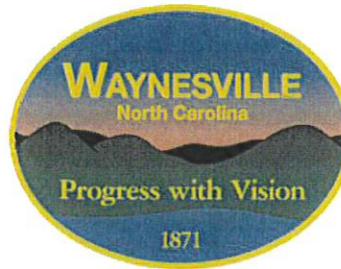
- Phase 2 Sewer Allocation, by calculation, will be 35,500 gallons per day
- The original allocation request for phase 1 was for 48,600 GPD and after the state rule change that modified the permit to 25,875 GPD. (48,600 GPD – 25,875 GPD = 22,725 GPD of credit for Phase 1.

That said, (35,550 GPD – 22,725 GPD) = **12,775 GPD of additional sewer allocation** that will be needed to cover all of Phase 2.

I have attached three items here for your information.

1. The original allocation for Phase 1 of 48,600 GPD (see image below from McGill Associates)
2. The invoice of fees paid for Phase 1 which show the original 48,600 GPD
3. The revised sewer permit, based on the State rule modification, that took the Phase 1 sewer GPD down to 25,875 GPD

Gary Caldwell, Mayor
 Chuck Dickson, Mayor Pro Tem
 Julia Freeman, Councilmember
 Jon Feichter, Councilmember
 Anthony Sutton, Councilmember



Robert W. Hites, Jr., Town Manager
 Martha Sharpe Bradley, Town Attorney

January 29, 2026

Dear Jesse Gardener,

The Town of Waynesville will approve the water and sewer allotments for the Queen Subdivision, Phase 2, in accordance with the revised State rule 15A NCAC 02T. Approval is contingent upon compliance with all applicable state and local regulations.

The developer shall be solely responsible for the payment of all applicable water and sewer capacity fees associated with this project. In connection with this approval, a total of 12,775 gallons per day (gpd) will be deducted from the Town's allowable wastewater treatment plant allocation.

The Town of Waynesville reserves the right to withhold or delay the issuance of building permits in the event the wastewater treatment plant is unable to accept additional flows at the time of permit application.

Please do not hesitate to contact us should you require additional information or clarification.

Sincerely,

Laura Yonkers

Deputy Public Works Director (Sustainability)
 129 Legion Drive,
 Waynesville, NC 28786
 T: (561) 523-1693
lyonkers@waynesvillenc.gov

ROY COOPER
Governor

ELIZABETH S. BISER
Secretary

RICHARD E. ROGERS, JR.
Director



NORTH CAROLINA
Environmental Quality

December 13, 2023

MEMORANDUM

To: File

From: Michael Montebello, Supervisor, NPDES Branch Chief

Subject: Session Law 2023-137 – Changes to Wastewater Design Flow Rates in 15A NCAC 02T .0114(b)

The noted guidance applies to existing Local Programs, Fast Track permits issued via the Regional offices, and Alternative Sewer Collection Permits and any other wastewater collection system permit issued by the Central Office.

SUMMARY:

Section 18 of [Session Law 2023-137](#), enacted October 10, 2023, establishes a wastewater design flow rate of 75 gallons per day per bedroom (GPD/BR) for wastewater systems serving two or more dwelling units. Accordingly, wastewater collection system extension permits issued pursuant to [15A NCAC 02T](#), with wastewater systems serving two or more dwelling units shall use a wastewater design flow rate of 75 GPD/BR.

Pursuant to Section 18.1.(e) of SL 2023-137, the 75 GPD/BR rate shall apply for all wastewater collection system extension permits issued on or after November 1, 2023.

15A NCAC 02T .0114(b) AMENDMENT:

Section 18.1.(d) of SL 2023-137 instructs the Environmental Management Commission (EMC) to amend [15A NCAC 02T .0114\(b\)](#) to be consistent with G.S. 143-215.1(f3). Until the EMC adopts the required amendment, the proposed 15A NCAC 02T .0114(b) language shall read as:

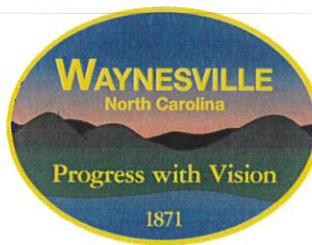
“In determining the volume of sewage from dwelling units with a wastewater system serving two or more dwelling units, the flow rate shall be 75 gallons per day per bedroom. The minimum volume of sewage from each dwelling unit with a wastewater system serving two or more dwelling units shall be 75 gallons per day and each additional bedroom above one bedroom shall increase the volume by 75 gallons per day. In determining the volume of sewage from dwelling units with a wastewater system serving a single dwelling unit, the flow rate shall be 120 gallons per day per bedroom. The minimum volume of sewage from each dwelling unit with a wastewater system serving a single dwelling unit shall be 240 gallons per day and each additional bedroom above two bedrooms shall increase the volume by 120 gallons per day. Each bedroom or any other room or addition that can function as a bedroom shall be considered a bedroom for design purposes. When the occupancy of a dwelling unit exceeds two persons per bedroom, the volume of sewage shall be determined by the maximum occupancy at a rate of 60 gallons per person per day.”



North Carolina Department of Environmental Quality | Division of Water Resources
512 North Salisbury Street | 1617 Mail Service Center | Raleigh, North Carolina 27699-1617
919.707.9000

APPLICATION & LOCAL PROGRAM GUIDANCE:

- Applications received prior to November 1, 2023, may calculate wastewater flows utilizing 75 GPD/BR for dwelling units that have not yet been connected. Otherwise, they must use [15A NCAC 02T .0114\(b\)](#) or a lower rate shown on any previously approved flow reduction.
- Applications received on or after November 1, 2023, must calculate wastewater flows utilizing 75 GPD/BR for dwelling units that have not yet been connected unless they have an approved flow reduction for a lower rate.
- Previously issued permits for collection systems that have not been connected (not tributary) may submit a revised application and application fee to change the flow to 75 GPD/BR and submit any necessary design documents as required for the change.
- Per G.S. 143-215.1 (f)-(f3) Local Permit Programs for Sewer Extension and Reclaimed Water Utilization, the same requirements (related to the wastewater flows for dwelling units) noted above would apply, however it would be up to the local program to determine how to address requests to modify existing permits.
- The flow rate change also applies to habitable rooms as defined by 15A NCAC 02T .0114(e).



Gary Caldwell, Mayor
 Julia Freeman, Council
 Attorney
 Clarence "Chuck" Dickson, Council
 Jon Feichter, Council
 Anthony Sutton, Council

Robert W. Hites, Jr. Town Manager
 Martha Bradley., Town

February 16, 2026

To: Olga Grooman:

Subject: Utility Availability for Valleywood Subdivision Phase 2

The Town of Waynesville, NC can supply the Valleywood Subdivision – Phase 2 with Utilities for water and sewer provided that the subdivision meet the following requirements:

- Electric Service: The electrical infrastructure for Phase 2 will be provided by Duke Energy.
- Water Supply: The water mains for Phase 2 must be connected to the existing 6-inch water main on Sunnyside Drive and the 6-inch main on Asheville Road.
- Sewer Infrastructure: The sewer system within Phase 2 should be a minimum of 8 inches in diameter and must connect to the existing 8-inch trunk line, since they will accommodate flow from Phase 1.

Please provide comprehensive utility plans detailing all on-site utilities, including the following:

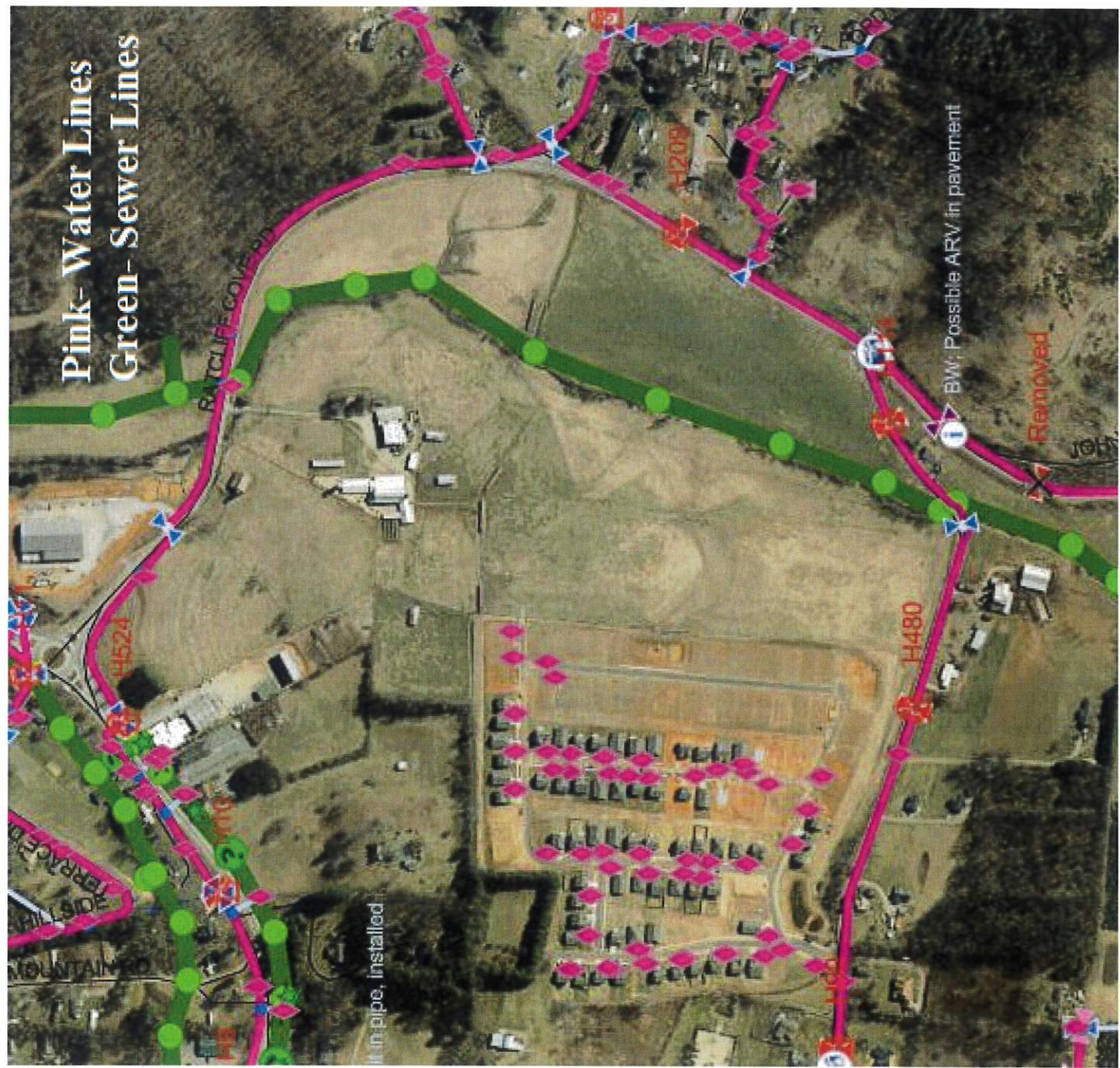
- Sizes, locations, and inverts of water and sewer lines
- Identification of any conflict structures

The fees for the capacity and tap fees were previously sent out.

Sincerely,

Wayne Bolin 828-456-3706

Water/Sewer Superintendent.





STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

JOSH STEIN
GOVERNOR

J.R. "JOEY" HOPKINS
SECRETARY

September 15, 2025

Jay Clapp, P.E. – RFK Engineers PLLC

Prepared for:

Civil Design Concepts, P.A.

168 Patton Avenue

Asheville, NC 28801

Subject: Approval of the Traffic Impact Analysis (TIA) – Valleywood Subdivision located in Waynesville, NC

The Traffic Impact Analysis (TIA) submitted to the North Carolina Department of Transportation (NCDOT) for the development titled as Cashiers' East Village is summarized as follows:

Proposed Development

According to the TIA, the proposed Valleywood Subdivision development is to be located southeast of the intersection of Asheville Road (US 23 BUS) and Ratcliff Cove Road (SR 1818) within the Town of Waynesville, Haywood County. The TIA was developed for the full build out of the proposed development (Phase I and Phase II). The TIA states the development is to be constructed by 2029 and is to consist of the following:

Land Use	Land Use Code	Size
Single-Family Detached Housing	210	276 Dwelling Units

Trip Generation - Unadjusted Volumes During a Typical Weekday Based on appropriate methodology outlined in the <i>ITE Trip Generation Manual, 11th Ed.</i>		
		TOTAL
AM Peak Hour		188
PM Peak Hour		258
Daily Trips		2,568

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DIVISION 14 – DISTRICT 2
178 HENRY BIRD ROAD
WHITTIER, NC 28789-7646

Telephone: (828) 558-6260
Fax: (828) 497-6095
Customer Service: 1-877-368-4968
Website: www.ncdot.gov

Location:
178 HENRY BIRD ROAD
WHITTIER, NC 28789-7646

Requested Access Points		
Driveway	Public Roadway	Access Type
Access A	Ratcliff Cove Road (SR 1818)	All Movement
Access B	Sunnyside Road (SR 1809)	All Movement
Access C*	Sunnyside Road (SR 1809)	All Movement

*Access C is proposed as an emergency only access in the TIA. The TIA analyzed both scenarios: Access C serving as a full movement connection with emergency only and resident use.

The NCDOT has completed review of this TIA in coordination with the Town of Waynesville (see attached letter from Town of Waynesville). This TIA is accepted on this date with the following comments and required mitigations by the developer:

Intersections:

Asheville Road (US 23 BUS) & Ratcliff Cove Rd (SR 1818) (existing roundabout intersection)

No mitigation is required

Ratcliff Cove Rd & Access A (proposed stop-controlled intersection)

Construct an exclusive right turn lane on the southbound approach of Ratcliff Cove Rd. Provide a minimum of 100 feet of storage and appropriate taper.

Construct driveway access with one ingress and one egress lane and provide an internal protected stem of 100 feet measured from the right-of way line.

East Street & Sunnyside Road (SR 1809)

No mitigation is required

Sunnyside Road (SR 1809) & Proposed Site Access B (existing stop-controlled intersection)

No mitigation required

Sunnyside Road (SR 1809) & Proposed Site Access C (proposed stop-controlled intersection)

Construct driveway access with one ingress and one egress lane and provide an internal protected stem of 100 feet measured from the right-of way line.

Sunnyside Road (SR 1809) & Raccoon Road (SR 1812) (existing stop-controlled intersection)

No mitigation is required

US 276 (Pigeon Road) & Raccoon Road (SR 1812) (existing stop-controlled intersection)

No mitigation is required

Overall Project Mitigation Requirements:

If changes are made to the proposed site driveways, land uses, land use intensity, or other study parameters, or if the build year studied in the report has passed, a revised Traffic Impact Analysis will be required for review by NCDOT. Any such changes will null and void this TIA approval.

All required driveway permits and/or encroachment agreements are to be approved prior to construction. A copy of this TIA approval shall be included with any NCDOT driveway permit application. All work is to be designed in strict compliance with the North Carolina Department of Transportation Standards and Specifications.

Any future development on this property, or in the area of this proposed development, will be required to do a Traffic Impact Analysis to evaluate the cumulative effect of this project and any additional traffic to the NCDOT system. This complies with General Statute, NC Administrative Code, and NCDOT policy and procedures.

Sincerely,



W. Cody Weddle, PE
District Engineer
Division 14, District 2



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

JOSH STEIN
GOVERNOR

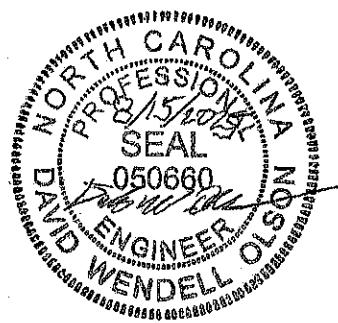
J.R. "JOEY" HOPKINS
SECRETARY

August 15, 2025

Valleywood Subdivision, Ph 2

Traffic Impact Analysis Review Report Congestion Management Section

TIA Project: SC-2025-029
 Division: 14
 County: Haywood
 Location: S of SR 1818 (Ratcliff Cove Rd), E of US-23
 BUS (Asheville Rd), in Waynesville



Michael P. Reese, PE, CPM Regional Engineer
 David W. Olson, P.E., Project Design Engineer

Valleywood Subdivision, Ph 2

SC-2025-029

Waynesville

Haywood County

Per your request, the Congestion Management Section (CMS) of the Transportation Mobility and Safety Division has completed a review of the subject site. The comments and recommendations contained in this review are based on data for background conditions presented in the Traffic Impact Analysis (TIA) and are subject to the approval of the local District Engineer's Office and appropriate local authorities.

Date Initially Received by CMS	07/31/25	Date of Site Plan	01/28/25
Date of Complete Information	07/31/25	Date of Sealed TIA	07/31/25

Proposed Development

The TIA assumes the development is completed by 2029 and consists of the following:

Land Use	Land Use Code	Size
Single-Family Detached Housing	210	276 d.u.

Trip Generation - Unadjusted Volumes During a Typical Weekday

	IN	OUT	TOTAL
AM Peak Hour	47	141	188
PM Peak Hour	163	95	258
Daily Trips			2,568

General Reference

For reference to various documents applicable to this review please reference the following link: <https://connect.ncdot.gov/resources/safety/Pages/Congestion-Management.aspx>

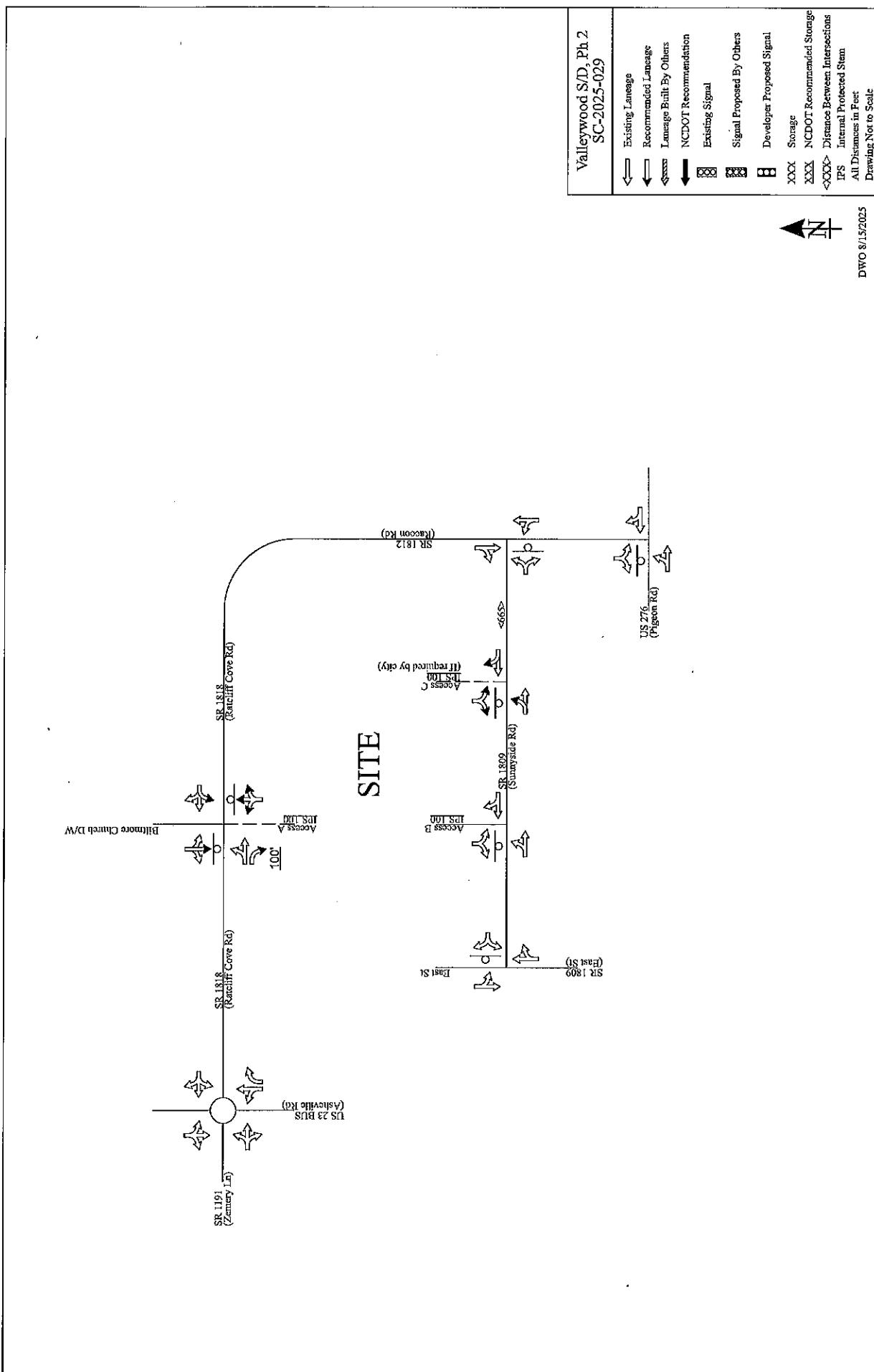
Once the driveway permit has been approved and issued, a copy of the final driveway permit requirements should be forwarded to this office. If we can provide further assistance, please contact the Congestion Management Section.

French Broad River MPO CTP

SR 1818 (Ratcliff Cove Rd) | Minor Thoroughfare -- Existing

SR

1812 (Racoon Rd) | Minor Thoroughfare -- Existing





TOWN OF WAYNESVILLE

Development Services Department

PO Box 100

9 South Main Street

Waynesville, NC 28786

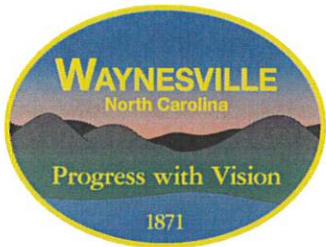
Phone (828) 456-8647 • Fax (828) 452-1492

Date: 02/03/2026

Project: Queen Subdivision Phase 2

Comments:

1. Provide fire hydrant locations.
2. Provide curb detail, drivable curb or raised curb.
3. Provide turning radius for corner curbs.
4. Provide distance of all dead-end roads.



TOWN OF WAYNESVILLE

Development Services Department

PO Box 100

9 South Main Street

Waynesville, NC 28786

Phone (828) 456-8647 • Fax (828) 452-1492

www.waynesvillenc.gov

FOR PUBLICATION IN THE MOUNTAINEER: February 4th and February 11th Wednesday Editions

Date: January 30, 2026

Contact: Olga Grooman, (828) 356-1172

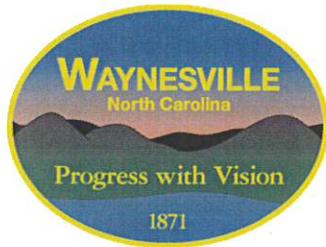
Notice of Public Hearing

Town of Waynesville Planning Board

Special Called Meeting

The Town of Waynesville Planning Board will hold a **public hearing on Thursday, February 19, 2026, at 5:30 pm**, in the Town Hall Board Room, located at 9 South Main Street, Waynesville, NC, to consider a major subdivision of 148 lots for single-family residences on a 57.5-acre property at 192 Ratcliff Cove Road, Waynesville, NC 28786 (PIN 8625-08-4616) and on a 9.9-acre property at 40 Ratcliff Cove Road, Waynesville, NC 28786 (PIN 8615-99-9587).

For more information contact the Development Services Department at: (828) 356-1172, email: ogrooman@waynesvillenc.gov , mail: 9 South Main Street, Suite 110, Waynesville, NC 28786.



TOWN OF WAYNESVILLE

Development Services Department

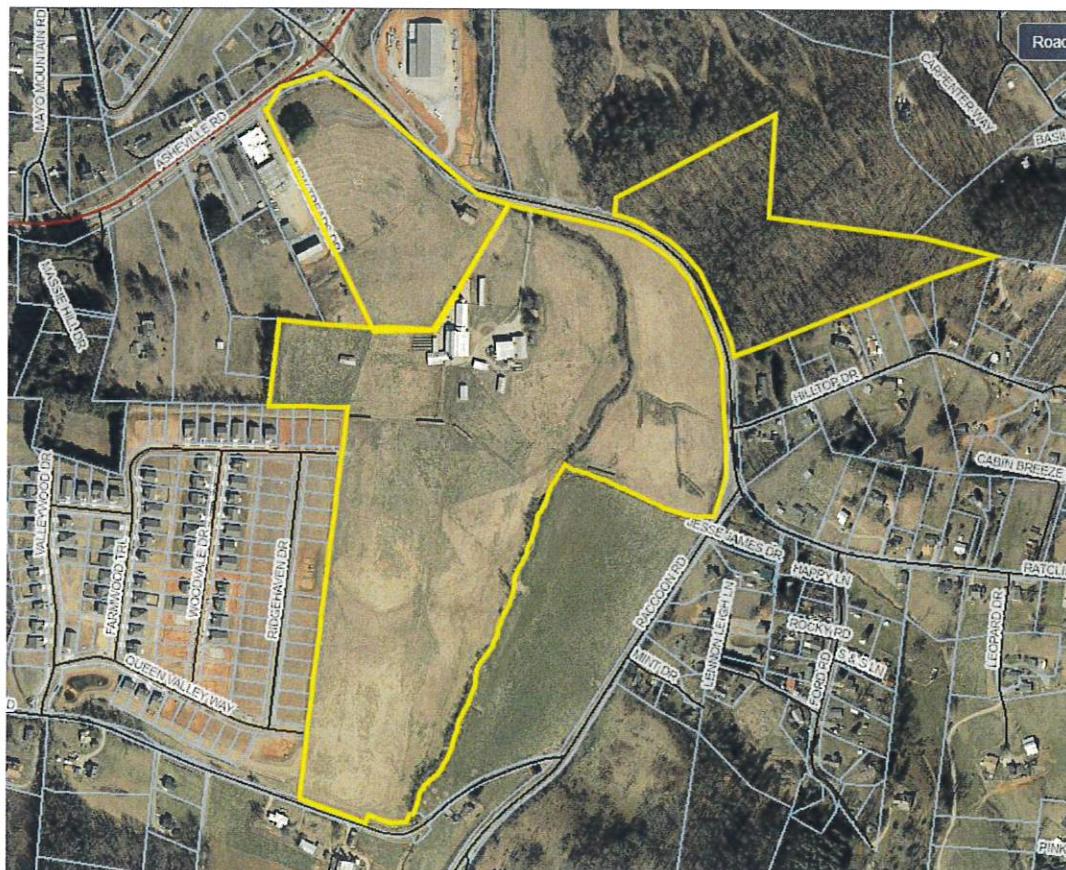
PO Box 100
9 South Main Street
Waynesville, NC 28786
Phone (828) 456-8647 • Fax (828) 452-1492
www.waynesvillenc.gov

Date: February 2, 2026

Notice of Public Hearing

Town of Waynesville Planning Board: Special Called Meeting

The Town of Waynesville Planning Board will hold a **public hearing on Thursday, February 19, 2026, at 5:30 pm**, in the Town Hall Board Room, located at 9 South Main Street, Waynesville, NC, to consider a major subdivision of 148 lots for single-family residences on a 57.5-acre property at 192 Ratcliff Cove Road, Waynesville, NC 28786 (PIN 8625-08-4616) and on a 9.9-acre property at 40 Ratcliff Cove Road, Waynesville, NC 28786 (PIN 8615-99-9587):



For more information contact the Development Services Department at: (828) 356-1172, email: ogrooman@waynesvillenc.gov, mail: 9 South Main Street, Suite 110, Waynesville, NC 28786.

PINK FIELDS LLC AL & CHARLIES MOUNTAIN LLC 480 QUEEN COVE RD WAYNESVILLE, NC 28785	TRIBROOK FARMS LLC A NC LLC 1315 RATCLIFF COVE RD WAYNESVILLE, NC 28786	JD FARMS OF WHITESIDE COVE LLC 5 CHLOE LN WAYNESVILLE, NC 28786
HAYWOOD COUNTY FARM BUREAU 1520 ASHEVILLE RD WAYNESVILLE, NC 28786	HOGAN, MICHAEL R HOGAN, TARA E 92 LUSKA RDG WAYNESVILLE, NC 28785	FENDER, SUSAN CROSS/TR STOVALL, GEORGE DEWEY/TR 1432 ASHEVILLE RD WAYNESVILLE, NC 28786
BETTY B HENDERSON REV TRUST 22 CHERRY ST WAYNESVILLE, NC 28786	DAVIS, EDWARD LAWRENCE 32 TARHEEL TRL CANTON, NC 28716	DAVIS, LISA KATHERINE 129 SOLITARY MEADOW CIR WAYNESVILLE, NC 28786
PARMENTER, RYAN CHRISTOPHER PARMENTER, CARRIE LYNN 20 ZEMERY LN WAYNESVILLE, NC 28786	CORLEY, AMANDA KRISTINE 1669 ASHEVILLE RD WAYNESVILLE, NC 28786	STANSBURY, KEITH EDWARD STANSBURY, ERIKA MARIE PO BOX 601 WAYNESVILLE, NC 28786
BILTMORE BAPTIST CHURCH 35 CLAYTON RD ARDEN, NC 28704	HAYWOOD COUNTY CONSOLIDATED SCHOOL SYSTEM BOARD OF 1233 N MAIN ST WAYNESVILLE, NC 28786	PHILLIPS, ERNEST PHILLIPS, FRANCES 25 BASIL COURT WAYNESVILLE, NC 28786
WCD RENTALS LLC A NC LLC 144 BEN MEDFORD RD WAYNESVILLE, NC 28785	CODY, MICHAEL GARY 1231 PIONEER CIR WATKINSVILLE, GA 30677	BIDDIX, MARGARET CODY/LT BIDDIX, JACK 111 HILLTOP DR WAYNESVILLE, NC 28786
CARVER, HEATH BROWN 109 HILLTOP DR WAYNESVILLE, NC 28786	VISIONARY ELITE REAL ESTATE LLC 40 OLDE COVINGTON WAY ARDEN, NC 28704	JONES, KATRINA M/LT JONES, BRIAN SCOTT 37 HILLTOP DR WAYNESVILLE, NC 28786
HORENSKY, MARK ANDREW 14 HILL TOP DR WAYNESVILLE, NC 28786	JAMES, HESTER ANN/LT JAMES, MARVIN D 541 RATCLIFF COVE RD WAYNESVILLE, NC 28786	SORRELLS, WILLIAM DANIEL 19 JESSE JAMES DR WAYNESVILLE, NC 28786
LEDFORD, NATHAN WILLIAM LEDFORD, ANGELINA ROSE PRATT 45 RACOON RD WAYNESVILLE, NC 28786	MORROW, JOHN PERRY MORROW, SANDRA 528 SUNNYSIDE RD WAYNESVILLE, NC 28786	VALLEYWOOD FARMS COMMUNITY ASSOCIATION INC A NC NO 1335 CANE CREEK RD FLETCHER, NC 28732

IRWIN, BROCK IRWIN, KATLYN 211 FARMWOOD TRL WAYNESVILLE, NC 28786	D R HORTON INC 80 PEACHTREE RD STE 200 ASHEVILLE, NC 28803	JOHNSON, CASSIE GRACE O'NEAL, CARROLLYN FAITH 223 FARMWOOD TRL WAYNESVILLE, NC 28786
JACOBSEN, PRESTON DONALD JACOBSEN, ANNA VONCANNON 420 SUNNYSIDE RD WAYNESVILLE, NC 2878	MOODY, DUANE H MOODY, ELVIRA K 334 SUNNYSIDE RD WAYNESVILLE, NC 28786	EAVENSON, ANN O EAVENSON, LEIGH ANN 525 AUBURN PARK DR WAYNESVILLE, NC 28786
TURNER, AMANDA JENNINGS 108 OLD FIDDLE RD WAYNESVILLE, NC 28786	MASHBURN, EMMETT JEROME MASHBURN, EMILY JO 137 RIDGECREST LANE WAYNESVILLE, NC 28786	SMITH, GREGORY TREY SMITH, JENNIFER WOODARD 303 HILLSIDE TERRACE DR WAYNESVILLE, NC 28786
SINGER, MIRIAM/TR MIRIAM SINGER LIVING TRUST 7020 SW 60TH ST MIAMI, FL 33143	HENSLEY, LEONARD HENLSEY, KARMA 80 OVERLOOK FARM LN WAYNESVILLE, NC 28786	TRANTHAM, ROBERT DALE 10 MINT DR WAYNESVILLE, NC 28786
SMITH, HARRY B PO BOX 242 WAYNESVILLE, NC 28786	FRANCIS, J HARLEY JR FRANCIS, JAMES HARLEY PO BOX 117 LAKE JUNALUSKA, NC 28745	JONES, REBECCA J/TR REBECCA J JONES FAMILY TRUST 199 FARMWOOD TRL WAYNESVILLE, NC 28786
LAKE, MAKENZIE LAKE, DANIEL 189 FARMWOOD TRL WAYNESVILLE, NC 28786	HOWELL, MOURIENE/TR MOURIENE HOWELL LIVING TRUST 181 FARMWOOD TRL WAYNESVILLE, NC 28786	MIXON, JOHN MATTHEW MIXON, DEMETRA KLEITCHES 175 FARMWOOD TRL WAYNESVILLE, NC 28786
BURRIS, MARGARET M 58 HILLTOP DR WAYNESVILLE, NC 28786	MOODY, NANCY MORROW 190 JOHN MORROW RD WAYNESVILLE, NC 28786	

From: [Candace Poolton](#)
To: [Media Contacts](#)
Subject: Public Hearing Notices of the Planning Board
Date: Wednesday, February 4, 2026 8:25:57 AM

Notice of Public Hearings

Town of Waynesville Planning Board

The Town of Waynesville Planning Board will hold a public hearing on Monday, February 16th, 2026, at 5:30 pm, in the Town Hall Board Room, located at 9 South Main Street, Waynesville, NC, to consider a rezoning request for the 4.96 acre parcel located at 38 Hall Top Rd, Waynesville, NC 28786 (PIN 8616-13-3822). The property is currently zoned Hall Top Residential Low Density (HT-RL). The applicant is requesting that the property be rezoned to the Dellwood Residential Medium Density (D-MD) zoning district.

For more information contact the Development Services Department at: (828) 356-1172, email: amumby@waynesvillenc.gov, mail: 9 South Main Street, Suite 110, Waynesville, NC 28786.

The Town of Waynesville Planning Board will hold a **public hearing on Thursday, February 19, 2026, at 5:30 pm**, in the Town Hall Board Room, located at 9 South Main Street, Waynesville, NC, to consider a major subdivision of 148 lots for single-family residences on a 57.5-acre property at 192 Ratcliff Cove Road, Waynesville, NC 28786 (PIN 8625-08-4616) and on a 9.9-acre property at 40 Ratcliff Cove Road, Waynesville, NC 28786 (PIN 8615-99-9587).

For more information contact the Development Services Department at: (828) 356-1172, email: ogrooman@waynesvillenc.gov, mail: 9 South Main Street, Suite 110, Waynesville, NC 28786.

Candace Poolton, CMC | Town Clerk/Assistant to the Manager
Town of Waynesville, NC
16 S. Main Street | PO Box 100 | Waynesville, NC 28786
(o) 828.452-2491 | (f) 828.456.2000
cpoolton@waynesvillenc.gov | www.waynesvillenc.gov







Memo

To: Olga Grooman
CC:
From: Jesse Gardner, PE
Date: 1-21-26
Re: Queen Phae 2 – Neighborhood Meeting Notes

On Wednesday January 21, 2026 Civil Design Concepts conducted a neighborhood meeting at The Biltmore Church Waynesville located at 1700 Asheville Rd. Several invited property owners attended the “drop in” meeting from 2-3pm. Included with this memo, is a sign in sheet from the meeting of those that attended.

At the meeting, Civil Design presented the proposed Site Plan for the project. Specific items that were provided were that the proposed project consisted of approximately 148 lots for single family homes. The proposed density for Phase 2 of this project is 2.55 units per acre, which is less than the 3.5 units per acre for Phase 1. The project is providing approximately 10 acres of civic space and nearly 3 acres of recreation space. We showed the location of the future greenway easement that is included within the design. Summarized the proposed connection of internal roads from Phase 1 into Phase 2 and also the proposed connections to both Sunnyside (emergency use only) and the primary entrance across from The Biltmore Church Waynesville entrance on Ratcliff Cove Road. After a description of the proposed development, I opened up for questions from the attendees, which included the following:

- Why are you connecting Phase 1 and Phase 2? Town ordinances encourage and require interconnectivity
- What type of homes will be built in Phase 2? Most likely a similar product as Phase 1.
- Will there be any homes on the south side of the creek? I showed that this area is to remain undeveloped with no future homes proposed.
- Will DR Horton be the home builder? Most likely the development team will remain the same.
- How much traffic will be added to the roads and what is your plan? I let them know a full traffic study was conducted and already reviewed and approved by NCDOT. It did require a turn lane to be added at our primary entrance.
- What is the status of the town’s sewer treatment plant upgrade? It is my understanding that they are nearly finished and have indicated they have adequate capacity for this project.

Mailing Address: P.O. Box 5432, Asheville, NC 28813

168 Patton Avenue Asheville, NC 28801
 Phone 828-252-5388 Fax 828-252-5365

52 Walnut Street- Suite 9, Waynesville, NC 28786
 Phone: 828-452-4410 Fax: 828-456-5455

Sign Sheet

Name

Jesse GARDNER

Tyler Anderson

Alex Munday

James Weiss

Robert Trantham

Don Smart

Lisa Davis

Jeff McCall

Michael Hogan

~~Michael Hogan~~

Curt McClure

Address

417 Walkertown Rd 81kmth

TOW

TOW

~~779~~ Hilltop RD

10 Mist Drive

1840 Creektree Rd

Way, NC 28785

129 Solitary Meadow Circle

Waynesville, NC 28786

110 New Woods Dr Waynesville 28786

1510 Asheville Rd Waynesville, NC

251 FARMWOOD DR. Asheville NC

Biltmore Church.

NOTICE OF NEIGHBORHOOD MEETING

Dear Property Owner,

In accordance with Section 15.3.7 of the Town of Waynesville Land Development Standards, this letter serves as notification that there will be a neighborhood informational meeting held to discuss a proposed land development project within your community. You are being notified as you own or reside at a property in proximity to this proposed development. More detailed information on the proposed development will be available for review at the Neighborhood Meeting noted below. We hope that you can attend. The details of the meeting and location of the project are as follows:

Meeting Information

What	+/- 148 Single Family Home Subdivision On two parcels 40 and 192 Ratcliff Cove Rd.
When	January 21st, 2:00 PM – 3:00 PM
Where	The Biltmore Church Waynesville 1700 Asheville Rd. Waynesville, NC 28786

Proposed Development Area

